



# Building Application

Permit # \_\_\_\_\_

**Submit Applications to: [Permits@rumrivercc.com](mailto:Permits@rumrivercc.com) Scheduling: 763-331-7722**

This Application becomes a **Numbered Permit** after the review is complete and payment of fees.

Work is **not** to begin prior to issuance. All information is required and must be completed.

Site Address \_\_\_\_\_ Property ID # \_\_\_\_\_

Property Owner Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

Applicant: Contractor OR Owner ~ Is this rental property? Yes No ~ Commercial Residential

Contractor Company Name \_\_\_\_\_

Address \_\_\_\_\_ City \_\_\_\_\_ State \_\_\_\_\_ Zip \_\_\_\_\_

Phone # \_\_\_\_\_ Email \_\_\_\_\_

Contractor State License # \_\_\_\_\_ Verified by office staff \_\_\_\_\_

Contact Name: \_\_\_\_\_ Phone #: \_\_\_\_\_

	<b>Accessory Building</b>	<b>Addition</b>	<b>Alteration/Remodel</b>
<b>Basement Finish</b>	<b>Deck</b>	<b>New Construction</b>	<b>Other</b>

Valuation (Labor & Materials) \$ \_\_\_\_\_

**Project Description** \_\_\_\_\_

*The undersigned acknowledges the above information is correct and accepts responsibility for compliance with all applicable laws and ordinances of the ruling jurisdiction.*

**Applicant Signature** \_\_\_\_\_

I am submitting all required supplemental sheets and supporting documents:

**Printed Name** \_\_\_\_\_ **Date** \_\_\_\_\_

### **\*Office Use Only\***

Date **all** required information was received: \_\_\_\_\_

#### **Approvals:**

Building \_\_\_\_\_ Date \_\_\_\_\_

Zoning \_\_\_\_\_ Date \_\_\_\_\_

Engineering \_\_\_\_\_ Date \_\_\_\_\_

Fire \_\_\_\_\_ Date \_\_\_\_\_

Permit Fee \$ \_\_\_\_\_

Plan Review Fee \$ \_\_\_\_\_

Zoning Fee \$ \_\_\_\_\_

SAC Fee \$ \_\_\_\_\_

WAC Fee \$ \_\_\_\_\_

Surcharge Fee \$ \_\_\_\_\_

**Total Fee \$** \_\_\_\_\_

#### **Payment Info:**

Payment received by \_\_\_\_\_

Cash \_\_\_\_\_ Ck # \_\_\_\_\_ Last 4 CC# \_\_\_\_\_

Receipt #: \_\_\_\_\_ Date \_\_\_\_\_

# Detached Garage Permit Submittal Documents

## Required Documents:

1. Building Permit Application
2. Garage Plan Details (*separate required document*)
3. Building Plans
4. Site Plan

**NOTE:** All permit application documents should be turned in at the same time, otherwise partial submittals can often cause delays in the plan review process.

**Building Permit Application:** Describe proposed work, site location, contractor and owner contact information, contractor state license number, valuation estimate, signature and date of permit applicant.

**Garage Plan Details Form:** Fill out completely as part of the submittal package.

**Building Plans:** Show in detail the extent of all proposed work not listed on the Garage Plan Details Form.

**Site Plan:** Identify location, type and size of existing and proposed new structures with distances to property lines. Show locations of septic tanks, drain field, well and *alternate drain field site*. Identify easements and wetland areas if known.

**License Requirements:** Applicants must be property owner or Licensed Contractor.

**State Building Code Information:** The MN State Residential Code can be viewed on the Department of Labor and Industry web site.



# Garage Permit Supplement

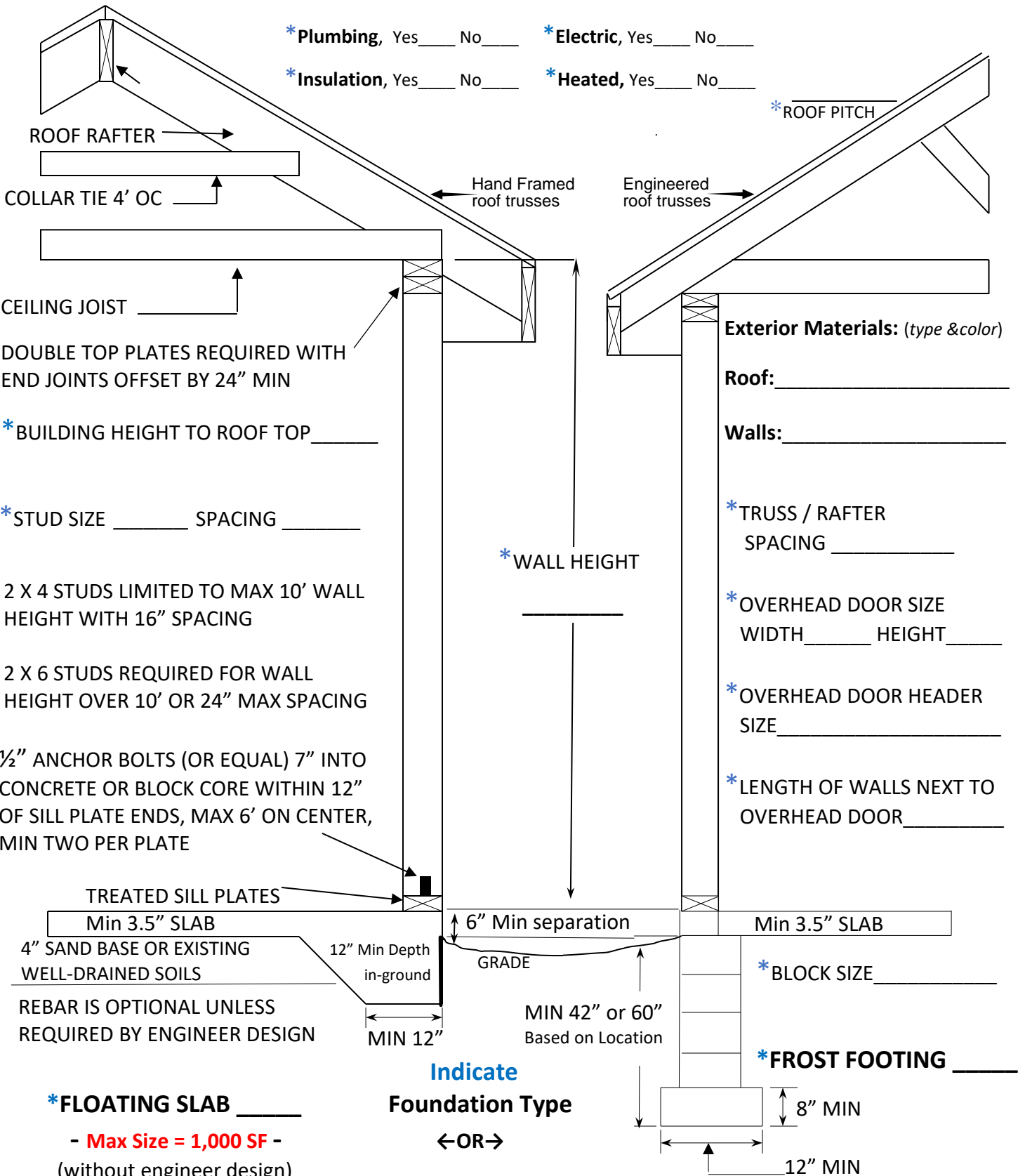
Fill in all areas marked with \*

\*ADDRESS: \_\_\_\_\_

\*SIZE: LENGTH \_\_\_\_\_ WIDTH \_\_\_\_\_ TOTAL SF \_\_\_\_\_

\*Plumbing, Yes \_\_\_ No \_\_\_ \*Electric, Yes \_\_\_ No \_\_\_

\*Insulation, Yes \_\_\_ No \_\_\_ \*Heated, Yes \_\_\_ No \_\_\_



Exterior Materials: (type & color)

Roof: \_\_\_\_\_

Walls: \_\_\_\_\_

\*TRUSS / RAFTER SPACING \_\_\_\_\_

\*OVERHEAD DOOR SIZE WIDTH \_\_\_\_\_ HEIGHT \_\_\_\_\_

\*OVERHEAD DOOR HEADER SIZE \_\_\_\_\_

\*LENGTH OF WALLS NEXT TO OVERHEAD DOOR \_\_\_\_\_

\*BLOCK SIZE \_\_\_\_\_

\*FROST FOOTING \_\_\_\_\_

\*BUILDING HEIGHT TO ROOF TOP \_\_\_\_\_

\*STUD SIZE \_\_\_\_\_ SPACING \_\_\_\_\_

2 X 4 STUDS LIMITED TO MAX 10' WALL HEIGHT WITH 16" SPACING

2 X 6 STUDS REQUIRED FOR WALL HEIGHT OVER 10' OR 24" MAX SPACING

1/2" ANCHOR BOLTS (OR EQUAL) 7" INTO CONCRETE OR BLOCK CORE WITHIN 12" OF SILL PLATE ENDS, MAX 6' ON CENTER, MIN TWO PER PLATE

TREATED SILL PLATES

Min 3.5" SLAB

4" SAND BASE OR EXISTING WELL-DRAINED SOILS

REBAR IS OPTIONAL UNLESS REQUIRED BY ENGINEER DESIGN

12" Min Depth in-ground  
MIN 12"

6" Min separation  
GRADE

MIN 42" or 60"  
Based on Location

Min 3.5" SLAB

Indicate

Foundation Type

←OR→

\*FLOATING SLAB \_\_\_\_\_

- Max Size = 1,000 SF -  
(without engineer design)

8" MIN

12" MIN

## Site Plan Requirements

### What is the purpose of a Site Plan?

A Site Plan is an overhead view of everything within a property's boundaries, including existing and proposed structures, as well as additional features such as driveways, walkways, gardens, patios, accessory buildings, facilities, etc. A Site Plan can be hand-drawn or electronically generated but should be as close to scale as possible. A Site Plan will be reviewed to ensure the proposed improvements comply with all required codes, setbacks and impervious surfaces.

### When is a Site Plan needed?

Site Plans are needed for most additions, detached accessory buildings and garages, decks, fences, retaining walls, and other exterior projects.

### What kind of information is required on a Site Plan?

Before submitting a Site Plan for review, please ensure that all the items listed below are included. Omitting **any** of these items will result in the Site Plan being returned to the applicant for revisions, which **will delay the review process.**

Required Information	Site Plan
Address of Property or Full Legal Description	<input type="checkbox"/>
Street name and <b>ALL</b> adjacent street names	<input type="checkbox"/>
Proposed location of new improvements and distance to <b>ALL</b> property lines	<input type="checkbox"/>
Location and size of <b>ALL</b> existing structures on the property.	<input type="checkbox"/>
Location and dimensions of <b>ALL</b> impervious surfaces (i.e. sidewalks, asphalt, class-5 gravel, accessory buildings, etc.) <b><i>if the property is under 5 acres</i></b>	<input type="checkbox"/>
Location and distance to septic tanks (N/A if connected to municipal utilities)	<input type="checkbox"/>
Location and distance to well (N/A if connected to municipal utilities)	<input type="checkbox"/>
Location and distance to drainfield (N/A if connected to municipal utilities)	<input type="checkbox"/>
Identification and distance to the <b>alternate</b> drain field - homes built after 1996 will have 2 drain fields. (N/A if connected to municipal utilities)	<input type="checkbox"/>
Width of driveway at the right of way and dimensions/sq feet (if a new driveway is being installed)	<input type="checkbox"/>
Location & distance from all easements (i.e. driveway, utility, drainage, wetland, conservation, etc.)	<input type="checkbox"/>